



DESIGN
GUIDELINES
JUNE 2021 VERSION



1 OVERVIEW

1.1 VISION

Gen Fyansford is an aspirational place to live, challenging perceptions by creating excitement and intrigue around the 'next generation' of Fyansford.

Gen Fyansford stands apart from its competitors as a fresh and on trend development, while still feeling premium and exclusive. Gen Fyansford is more than just a place...it's a movement.

It's a new phase, a new way of living, offering...

- a landmark development in an evolving satellite city
- proximity to amenities within Geelong CBD
- a Neighbourhood Village providing shopping choices amenity and local convenience
- attraction to the rejuvenated Moorabool River
- a Community Centre with family facilities
- landscape design that exudes luxury and privilege

1.2 OBJECTIVES

Diverse and innovative design is encouraged at Gen Fyansford. With this in mind, the Design Guidelines have been created because we are conscious of the importance of building well designed homes in your new community.

They will inform and guide you through the process that is designed to bring about individual houses that sit well in the streetscape and play a part in the establishment of safe neighbourhoods. In this way, they help establish the foundations for maintaining, protecting and enhancing your most valuable asset, your home.

They will help you...

- choose a home that best fits your land and lifestyle.
- add value to your home and neighbourhood
- protect your investment by ensuring a high standard of design and construction of homes and landscaping.

1.3 DESIGN APPROVAL PROCESS

All homes built at Gen Fyansford must be approved by the Gen Fyansford Assessment Panel (GFAP) prior to lodging for any Building Permit or commencing any construction of works. The GFAP is appointed by the developer to oversee and implement the objectives of the Design Guidelines.

The Design Guidelines may be changed from time to time at the DAP's discretion Applications for Developer's Approval will be assessed against the current version of the Design Guidelines.

Interpretation and application of these Design Guidelines is at the sole discretion of the DAP. The DAP's decisions are final. No claims shall be made to the Developer, the DAP or their representatives with respect to the decisions made.

The DAP reserves the right to vary or waive the requirements of the Design Guidelines if it believes that a proposal (or an element of a proposal) that is not strictly in accordance with the wording of the Design Guidelines nonetheless makes a positive contribution to the overall objectives of the built form and/or streetscape at Gen Fyansford.

Allowance has been made for two submissions for each Design Approval application. Each additional submission may incur an administration fee, at the sole discretion of the DAP. New submissions for a lot that has already had an application approved may also incur an administration fee.

1.4 SUBMISSION REQUIREMENTS

All submissions for Design Approval must include the following information...

- Site plan at 1:100, with dimensions and showing:
 - lot boundaries and any easement(s) on title
 - Proposed building footprint and all proposed setbacks
 - contours (at 0.5 metre interval or less) or spot levels
 - on site car parking and driveways
 - other external structures and pools/spas
 - all ancillary items, including but not limited to:
 - water tanks and storage units
 - solar panels
 - television antennas
 - air conditioning units
 - evaporative cooling units
 - heating units
 - bin storage area
 - sheds and any outbuildings.
- All floor plans, roof plans and elevations at 1:100, with dimensions and showing...
 - internal layout, and any pergolas, decks, terraces, balconies, verandahs, windows, doors and other openings
 - proposed floor levels to AHD
- Finishes and colour samples
 - Provide samples or images (swatches, colour photos, paint chips etc.) of all proposed external materials and colour selections
- Landscape plan at 1:100, with dimension and showing...
 - indicative extent of all hardscape and softscape
 - planting schedule that lists all proposed species referenced on landscape plan
- For lots with greater than 1.5m landfall, please include the following, at 1:100...
 - at least one sectional drawing that explains the extent of proposed cut and fill
 - location and heights of proposed retaining walls.
- Completed Checklist

1.5 SUBMISSIONS

When you are ready to make your submission for Design Approval, you can lodge it on the Design Approval Portal at www.ngdd.com.au...

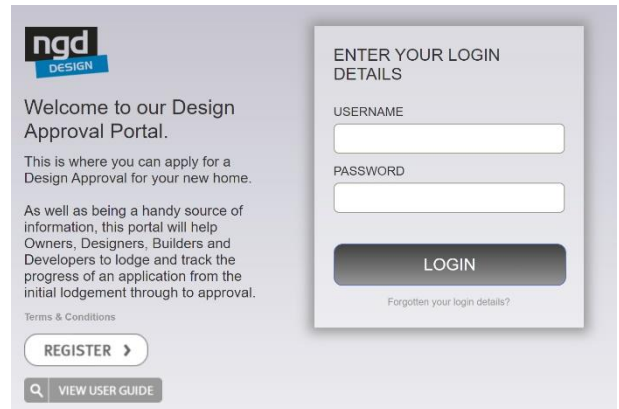


Diagram 1.5

Users must first register to use the portal. Once this has been done, log in and simply enter the relevant details when prompted. As well as being a handy source of information, this portal will help Owners, Designers, Builders and Developers to lodge and track the progress of a submission from the initial lodgement through to approval.

Generally, we will review and respond to you within 10 working days of your submission, but this time may vary depending on the nature and completeness of your submission.

Handy Hint

Please note that incomplete submissions are the single greatest cause of delays in obtaining a Design Approval. Check that your submission includes all the required information before lodging it. Complete and thorough submissions take the least time to process, review and approve.

1.6 RE-SUBMISSIONS

Should a re-submission be required, please ensure that any alterations or changes are suitably highlighted on the plans or in any accompanying communication. This will help to speed up the processing and assessment.

1.7 TIMING

Construction of your home needs to start within one year and be completed, including garage, driveway, fencing and retaining walls with in two years from Settlement.

The landscaping of all gardens visible from the public realm (street or reserve) must be completed within six months of the occupancy permit being issued.

1.8 OTHER APPROVALS

The requirements detailed in this document are in addition to, and not in lieu of, any State or local government planning or building approval requirements.

It is the responsibility of the property owner (or their nominated agent) to check the current planning and building requirements relevant to the property being built on, to ensure the proposed design meets all legislative requirements.

1.9 DEFINITIONS

For the purposes of these guidelines:

A *corner lot* is any lot that has more than one boundary that abuts the public realm.

Natural Ground Level is the finished surface level of the lot shown on the preliminary Engineering Plans, as may be amended from time to time.

1. Public Realm is any land that is within the ownership of a public body, including Council and servicing authorities.
2. *Building Envelope Plan* means the Building Envelope detailed on the Plan of Subdivision for a particular lot.
3. Primary Frontage is the boundary that abuts the Public Realm.
4. A Corner Lot is any lot that has more than one boundary that abuts the Public Realm.
5. On corner lots, the primary frontage is the shorter one adjacent to the street.

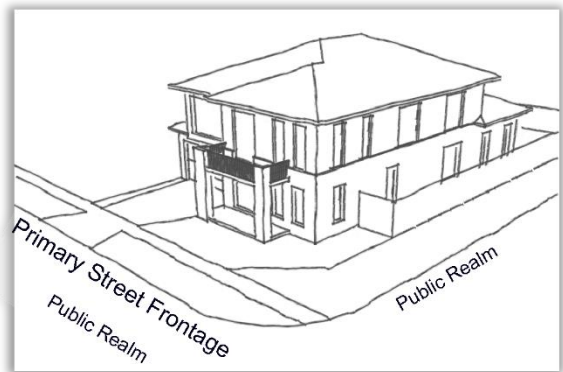


Diagram 1.9.5

6. A Side Boundary is the boundary on either side of the primary boundary.
7. Natural Ground Level means the finished surface level of the ground at the time of registration of the Plan of Subdivision.
8. A habitable room is a living/lounge room or a bedroom.

9. For irregular lots, the Lot Width is the width of the lot at the front building line. (The front building line does not include the entry feature of a dwelling).

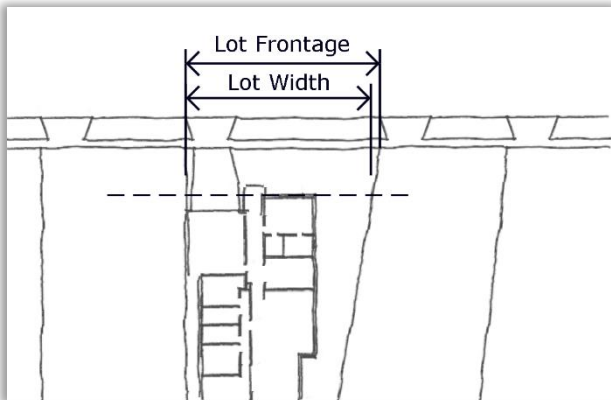


Diagram 1.9.9

10. The front building line is the external face of the front most habitable room wall. Entry features, porches, porticos etc. do not form part of the front building line.
11. Front Garden refers to the whole area between the front boundary of a lot and the dwelling, garage & return fence.

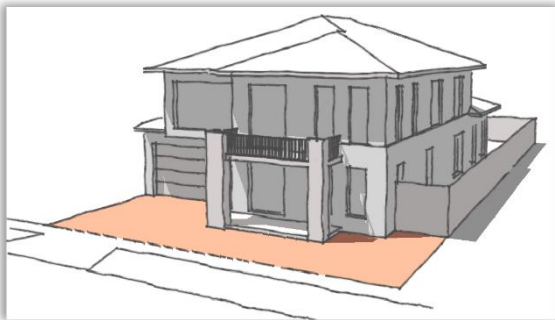


Diagram 1.9.11

12. Front Loaded refers to a lot where the garage is accessed from the primary frontage.
13. Side Loaded refers to a lot where the garage is accessed from a secondary frontage.

2 LOT PLANNING

With careful and appropriate consideration of how your house sits and fits on your lot, you can improve the value and quality of not only your home, but of your neighbour's too. Suitable decisions in terms of orientation, size, setbacks and space planning will result in...

- increased visual amenity and diversity to the street
- reduced overlooking and overshadowing
- higher levels of safety through passive surveillance
- more usable and well located private open space
- desired levels of development and density per lot
- improved comfort and lower ongoing running costs
- greater interaction between residents
- a balanced street scale so that no individual house dominates

2.1 LOT LAYOUT

1. Only one dwelling is permitted per lot, unless noted otherwise on the relevant Plan of Subdivision.
2. Dwellings must comply with a minimum floor area, excluding garage and all unenclosed areas, as follows:

Lot Size	Dwelling Size
<= 450m ²	120m ²
>450 m ²	150m ²

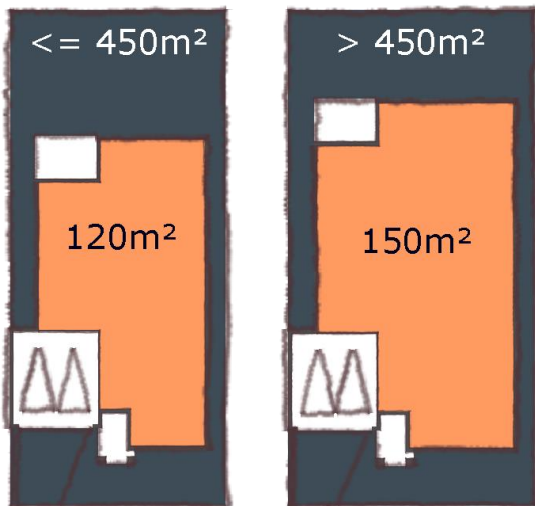


Diagram 2.1.2

3. The dwelling must have at least one habitable room window that addresses the primary street frontage.

The habitable room window must have appropriate head and sill heights to provide passive surveillance to the public realm.

2.2 BUILD FORM VARIETY

Similar façades are not permitted within 3 lots of each other

If any two façades are deemed to be too similar to each other, the earlier application will take precedence.

The determination of any facade variations required for approval will be at the sole discretion of the GFAP

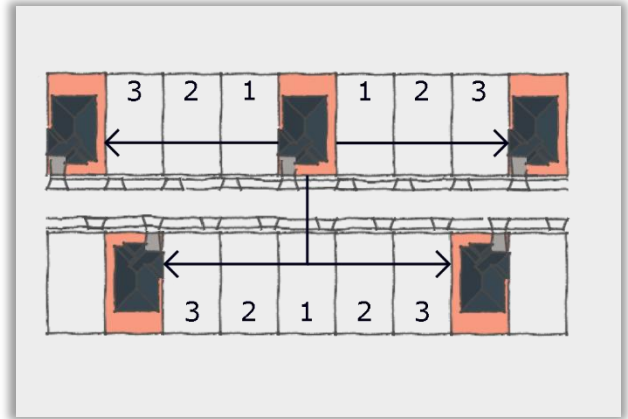


Diagram 2.2

2.3 BUILDING SETBACKS

All dwellings must be contained within the Building Envelope Plan applied to the lot, if one exists.

Generally, dwellings must be set back as follows:

Front Setbacks

1. Dwellings must generally be set back a minimum of 4.5m and a maximum of 6.5m from the front boundary.

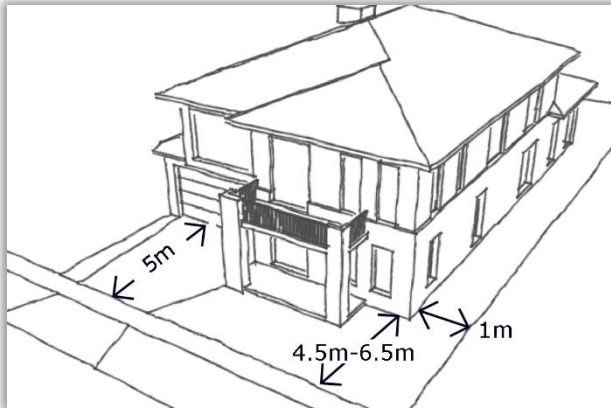


Diagram 2.3.1

2. In addition to this, garages must generally be set back a minimum of 5m from the front boundary so that cars may be parked between the garage and the front boundary.

Refer to Car Accommodation for further information.

Side Setbacks

3. Generally, each dwelling must have at least one side setback of a minimum of 1m.

Corner Lots

4. Generally, dwellings must be setback a minimum of 2m from the secondary street frontage.

Front Encroachments

5. The following may encroach into the front setback by not more than 1.5 metres:
 - Balconies, verandahs, open porches and porticos that have a maximum height of not more than 3.6 metres above the ground level.
 - Eaves, fascia and gutters;

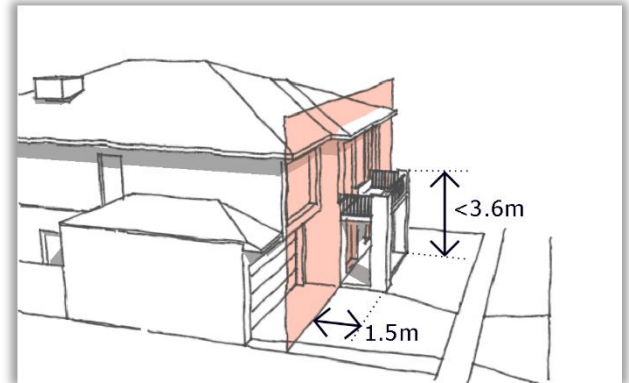


Diagram 2.3.5

Side and Rear Encroachments

6. The following may encroach into the side and rear setback distances by not more than 0.5m:
 - Porches and verandahs
 - Eaves, fascia and gutters
 - Screens, but only to the extent needed to protect a neighbouring property from a direct view

Landscaping Considerations

In addition to the minimum prescribed setbacks described above, consideration should be given to the mature size of any proposed planting, particularly in the front setback, to allow plenty of space for roots and branches to spread

3 BUILT FORM

The physical form of your house, together with the materials and finishes that define it, should be thought of in terms of being a component of the street it is in, as well as your own, individual home.

The home should read as the dominant form on the lot, with ancillary elements of secondary but integral importance to the visual feel of the street.

Appropriate built form will result in...

- high quality, contemporary design in keeping with the Gen Fyansford vision
- homes that are well articulated and proportioned to reduce the overall mass of the building
- buildings that are easily distinguishable, yet combine
- form a unified street
- a range of roof lines that protect from the sun, create shadows on the facade and bring visual interest and diversity to the street
- a combination of materials and texture that provide individuality and variety
- corner buildings that respond to their visually prominent position
- entries that are obvious from the street
- garages that do not dominate the street
- safer neighbourhoods through greater passive surveillance

3.1 CHARACTER & VISUAL STYLE

1. Facades must be contemporary in style.

“Period” facades and references to historical and decorative styles (such as Edwardian, Georgian etc.) and architectural features/details (quoins, fretwork, arches, decorative columns and/or mouldings, lace work, spires, finials, domes and gable vents etc.) will not be generally supported.



Diagram 3.1.1

Example of a non-complying “Period” style facade

- Decorative/curvilinear moulding
 - Colonial bars to windows
 - Decorative posts
2. There may be scope for the use of these types of elements as part of a contemporary design. An example of such a contemporary take is shown below:



Diagram 3.1.2

Example of an acceptable “Hampton” style facade

- Flat/square profile moulding
 - Colonial bars removed from windows
 - Flat/square posts
3. Mouldings may be approved if part of a contemporary façade, but only a flat profile will be approved. Decorative/curvilinear profiles must not be used.
4. The determination of the suitability of any such designs or treatments is at the sole discretion of the GFAP.

Equally, the GFAP will be the sole arbiter of what comprises a Period Style or Period Detail.

3.2 MASSING & ARTICULATION

1. Each dwelling must incorporate a prominent front entry point that is readily visible from the primary street frontage and complementary to the overall dwelling design.
2. The front entry point may take the form of a portico, porch, veranda or other feature, to the satisfaction of the GFAP, that has...
 - A minimum covered area of 3m²
 - A minimum depth of 1.5m
3. Two storey dwellings must incorporate elements such as balconies and / or protrusions to articulate the front façade.

3.3 CORNER LOTS

1. Dwellings on corner lots must address the secondary frontage by incorporating the same or similar design features to those used on the primary frontage.

Acceptable features may include...

- a. Windows with matching head heights

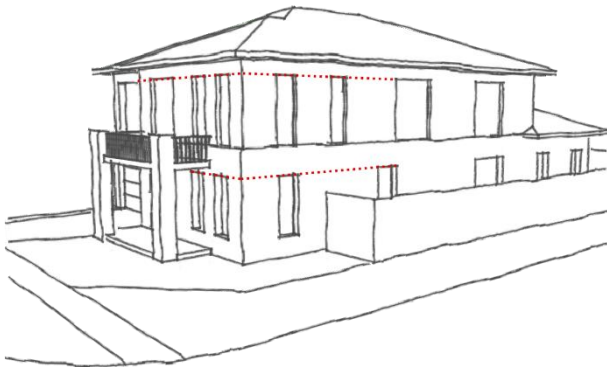


Diagram 3.3.1a

- b. Highlight materials and finishes that wrap around from the primary façade for at least 3m.



Diagram 3.3.1b

- c. Pergolas, Porticos, Porches, Verandas and Balconies
 - d. Roof Elements, such as feature gables
 - e. Other treatments, to the satisfaction of the GFAP
2. Corner features must be forward of the return fence and/or readily visible from the public realm.
 3. In addition to the above requirements, dwellings on corner lots must include eaves to all sides not on a boundary, unless otherwise approved by the GFAP.



Diagram 3.3.3

4. Please note that blank walls forward of the return fence are not permitted.

3.4 ROOF DESIGN

A variety of roofing forms and styles is encouraged

Flat pitched, skillion or curved roofs are encouraged and will be considered on their design merit, at the sole discretion of the GFAP.

1. Hip or Gable End roofs must have...

- a roof pitch of at least 25°
- a minimum eaves width of 450mm to the front facade
- the front eaves returning along the side wall for at least 1.5m on single storey dwellings

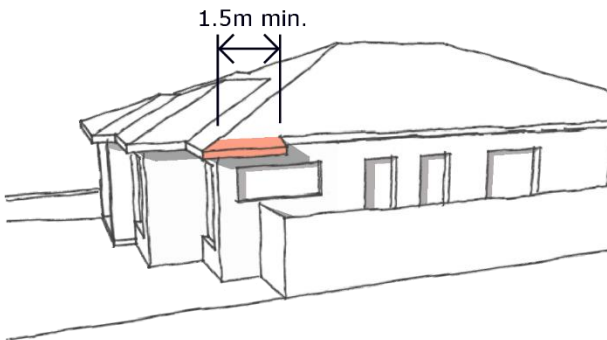


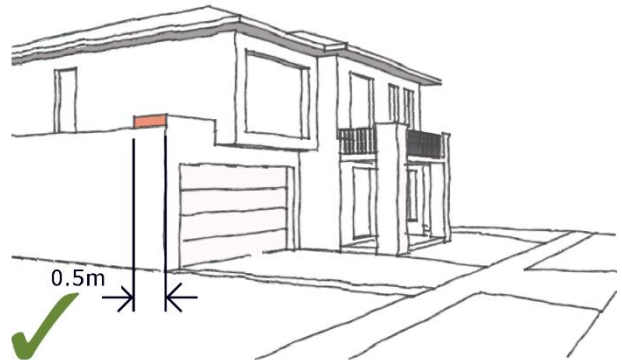
Diagram 3.4.1c

- a minimum eaves width of 450mm to the entire upper level on two storey dwellings



Diagram 3.4.1d

- Parapets at the edge of the front façade must be returned long the side wall for at least 500mm



Minimum Requirement



Preferred Treatment



Diagram 3.4.2

2. Roof cladding must be either prefinished metal roof sheeting or roof tiles.
3. Galvanized, zincalume or unfinished roof materials or rainwater fixtures are not permitted.
4. Roof materials must be matte finish and non-reflective.

3.5 MATERIALS AND FINISHES

1. The external walls of each dwelling must be constructed predominantly from...
 - Brick
 - Stone
 - Texture coated masonry or lightweight panels
 - Weather boards
 - other materials approved by the GFAP
2. Face brickwork must not account for more than 60% of the front facade (not including the garage door or windows)

Mono finish facades will be considered by the GFAP on an individual basis.

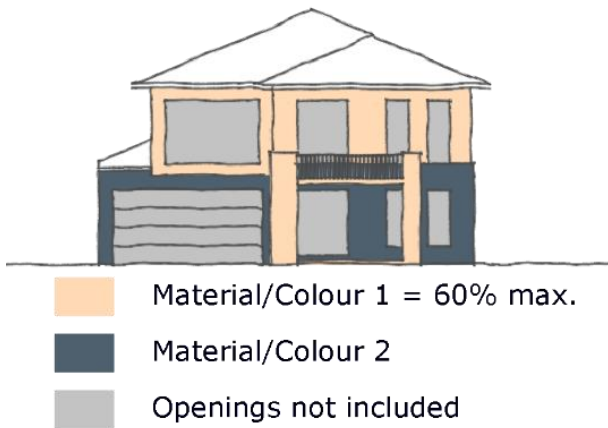


Diagram 3.5.2

3. Colour schemes should adopt a palette of muted neutral tones. External finishes, materials and colours must be approved by the GFAP.
4. Each application must include samples or images of the proposed colours, finishes and materials,
 - roofing
 - rainwater fixtures (gutters, downpipes, fascias etc.)
 - external wall cladding
 - window frames
 - garage door
 - driveway

A sample of how this may be presented is included at the end of this document.

5. External glazing must not contain leadlight, stained glass, reflective glass or patterned film

6. The front facade (and secondary frontages) must not include recessed lightweight infill panels above doors, windows or garage doors.

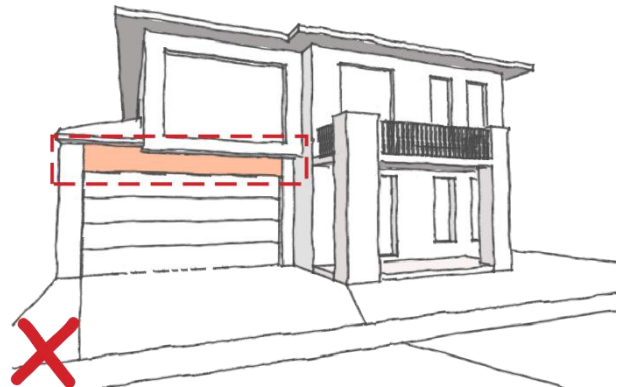


Diagram 3.5.6

7. Materials used on the front facade must extend to the side elevation for a minimum of 1.5m.
8. Roll down security shutters must not be visible from the public realm

3.6 CAR ACCOMMODATION

1. Garages must be integrated into the overall form of the dwelling.
2. Garages must be enclosed. Carports and open sided garages are not allowed.
3. Garages must be stepped back a minimum of 500mm from the front wall of the dwelling. This distance is not to be measured from verandas or porches etc.

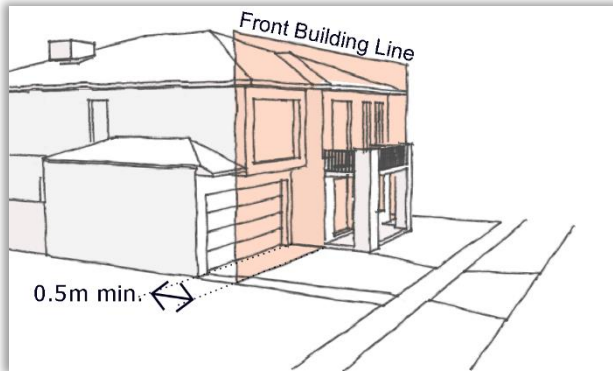


Diagram 3.6.3

4. Lots with a frontage of 12.5m or more must provide a double garage.
5. The width of the garage door must not exceed 6m.
6. The garage doors visible from the public realm must be either a panel lift, sectional overhead or other similar type. Roller doors are not permitted if they are visible from the public realm.
7. Stand alone car accommodation will not be approved unless the GFAP considers it to be part of an architecturally suitable design solution.
8. Garages forward of the building and garages with doors that are perpendicular to the street may be considered by the GFAP if they are a part of an overall solution to the slope of a lot.
9. Garage walls that face a street must address that frontage with appropriate design features.
Appropriate design features include
 - Garage Doors
 - Windows
 - Eaves
10. Blank garage walls facing the street will not be permitted

Triple garages

11. Triple will be considered by the GFAP. The third garage must be set back an additional 500mm from the adjacent garage.

4 OTHER EXTERNAL ELEMENTS

4.1 DRIVEWAYS

Driveways, like garages, can dominate a street and detract from its visual appeal if not considered carefully. Limiting the number of crossovers per allotment and ensuring that the extent of the driveway is minimised allows for more area to be used as front garden. This in turn provides more opportunity to enhance the overall appearance of the street and soften the integration between the public street and private front garden.

1. Each lot is limited to one cross over.
Requests for crossover relocations or additional crossovers must be approved by City of Greater Geelong before the GFAP issues a Design Approval. Generally, additional crossovers will not be approved on the front boundary.
2. Driveways must be constructed from...
 - Exposed aggregate concrete
 - Coloured concrete (colour through)
 - Slate
 - Natural Stone PaversPlain (uncoloured) concrete driveways are not permitted
3. Driveway material colours should be muted
4. Driveways must not be wider than the garage door where they meet the garage and must taper to the width of the crossover at the boundary

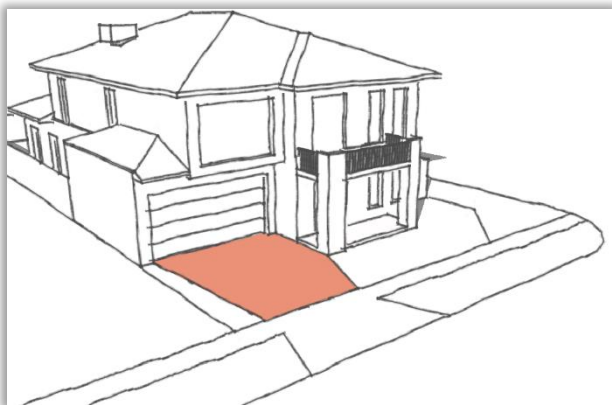


Diagram 4.1.4

5. The driveway must be set back a minimum of 500mm from the side boundary to provide a strip for landscaping

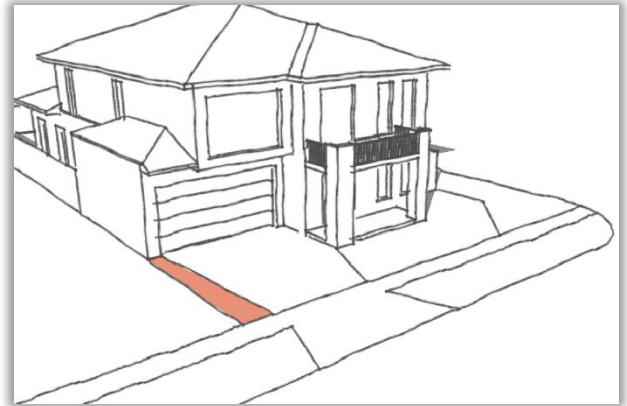


Diagram 4.1.5

6. The driveway must be constructed prior to occupancy

4.2 LAND FORM (RETAINING WALLS)

The way your home sits on your lot will have a significant impact on how your home relates to the street.

Considering and using the natural topography of your lot will contribute positively to the visual quality of the street.

Incorporating split level designs avoids unsightly, high retaining walls and expensive earthworks that isolate the home from the street rather integrating it into the public realm. Split level designs that follow the natural slope of the lot also provide opportunities for more defined space plan zoning within the home.

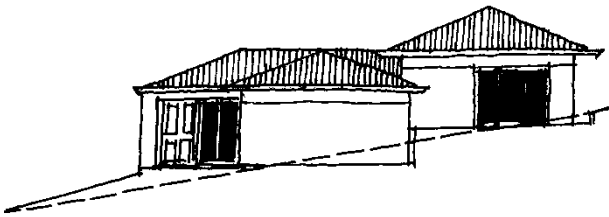


Diagram 4.2 Split Level approach to topography

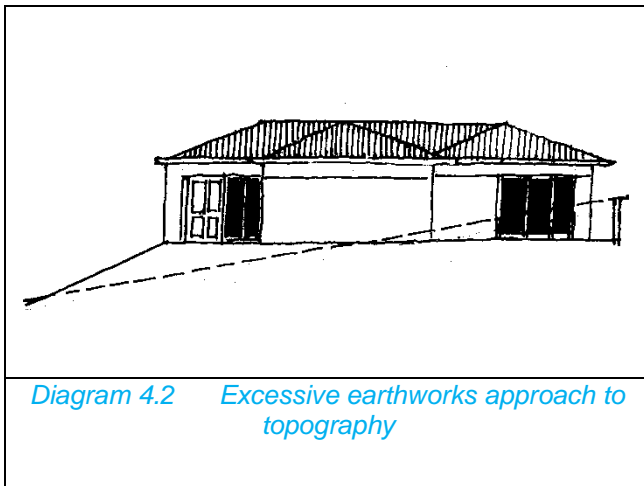


Diagram 4.2 Excessive earthworks approach to topography

1. Retaining walls visible from the public realm (street or public reserve etc.) must be constructed from a material and finish to complement the house, to the satisfaction of the GFAP.

Acceptable finishes may include...

- Stone
- Face or rendered masonry
- Concrete sleepers with an appropriate applied finish and galvanised support columns
- Timber retaining walls may only be used in areas that are not visible from the public realm.

2. Retaining walls must be a maximum height of 1.0m. If a higher wall is required, more than one wall must be used in conjunction with graded slopes, battering and other landscape treatment to soften the appearance of the change in levels.
3. The extent, height and finish of all proposed retaining walls must be included in any application for Design Approval

4.3 FENCING

The fencing requirements at Gen Fyansford have been put in place to create a landscaped definition between the front garden and the street and to ensure that fencing is not a dominant feature.

Interlot Fencing (Fencing between Lots)

- Interlot fencing must be...
 - Constructed with timber posts and lapped palings
 - A maximum of 1.8m high above natural ground level

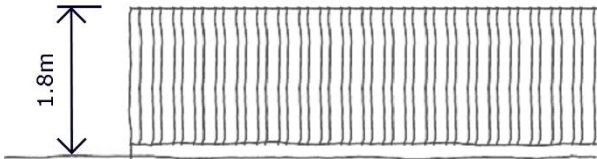


Diagram 4.3.2a

- Terminated a minimum of 1m behind the closest front wall of the dwelling, unless it is on the rear boundary of an adjoining lot
- Terminated by returning to meet the closest wall of the dwelling (return fence).

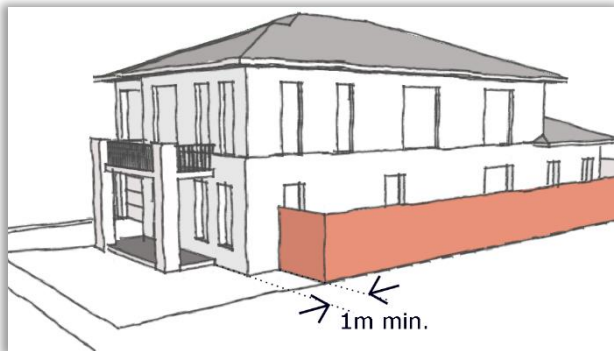


Diagram 4.3.2c



Diagram 4.3.2d

Return Fencing

- Return fences must be...
 - Constructed with materials and finishes to match or complement the adjacent fence
 - The same height as the adjacent interlot fence

Gates

- Any gate in a fence must match or complement the fence in terms of materials and finishes.

Corner Fencing (Fencing to a Secondary Public Realm Boundary)

Corner lots need fencing to provide seclusion for private open space. As this fence is significant in terms of both its extent and its location at the start of a street, the look of these fences has been specified to bring about a degree of uniformity throughout the neighbourhood. The extent of the corner fence has been limited to minimise its impact, present more of the home to the street and allow more opportunities for passive surveillance.

- Corner Fencing must be constructed with...
 - Maximum 2m high, exposed timber posts
 - Maximum 1.8m high, lapped and capped palings
 - 150mm bottom plinth.

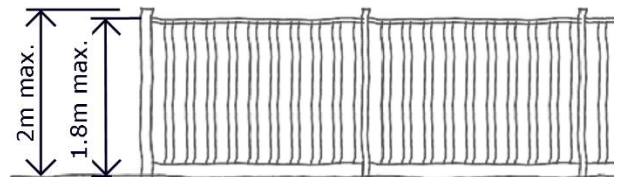


Diagram 4.3.5c

- Terminated a minimum of 3m behind the closest front wall of the dwelling
- Terminated by returning to meet the closest wall of the dwelling (return fence).

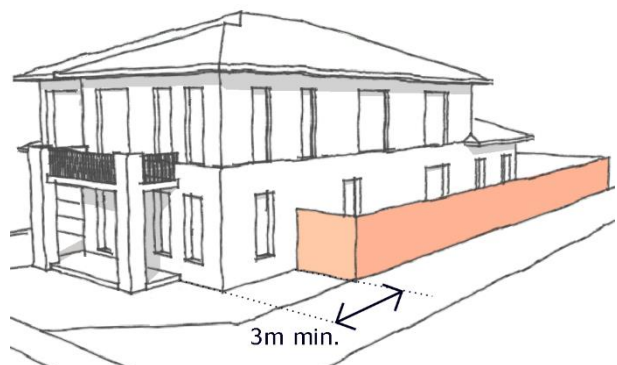


Diagram 4.3.5e

Front Fencing

5. Front fences are not permitted

Wing Fencing (Fencing between the Return fence and the front boundary)

6. Wing fences are not permitted

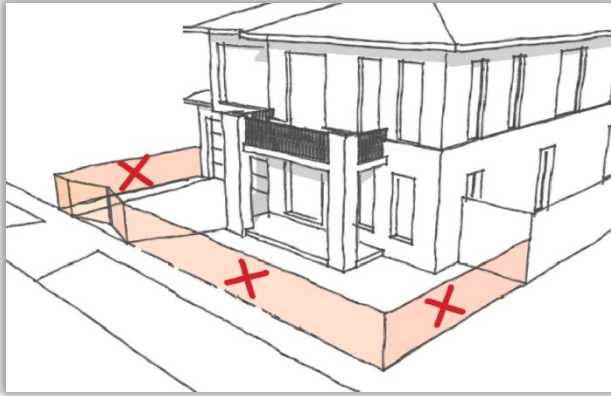


Diagram 4.3.5 and 4.3.6

4.4 OUTBUILDINGS & ANCILLARY ITEMS

Unightly elements detract from the visual quality of a street and the public realm in general. For this reason, unattractive items and structures must be designed to be complimentary, not readily visible, or screened for the benefit of all the whole community.

Letterbox

1. Letterboxes must complement the dwelling in terms of materials, colour and style.

Single post supported letterboxes are not permitted

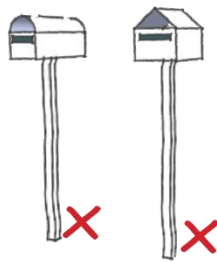


Diagram 4.4.1

Service Equipment

2. Satellite dishes, antennae or external receivers must be:
 - located to the rear of the dwelling; and
 - not readily visible from the public realm
3. Heating and cooling units must be:
 - located towards the rear of the dwelling;
 - not readily visible from the street; and

if located on the roof, Heating and Cooling Units must be

 - positioned below the ridge line
 - positioned to the rear of the roof and
 - coloured to match the roof.
4. Photovoltaic cells, solar panels and the like may be located to maximise their efficiency as long as they integrate with the roof form.

Screening

5. Ancillary structures and elements must be located so that they are not readily visible from the public realm. This include items such as
 - rubbish bin storage areas
 - washing lines
 - hot water systems
 - any water storage tanks
 - swimming pools
 - spa pumps
 - external plumbing other than that for rainwater

6. Any trucks, commercial vehicles exceeding 1.5 tonnes tonnes, recreational vehicles, trailers, caravans, boats, horse floats or other like vehicles must be located so that they are not readily visible from the public realm when parked or stored on the lot.

Sheds and Outbuildings

7. Sheds and outbuildings must...
 - not be readily in visible from the public realm;
 - and match or complement the appearance of the dwelling in form, colour and materials if it is greater than 10m2.

Signage

8. Signs to advertise the sale of a vacant lot are not permitted unless approved by the Developer
9. One sign only may be erected to advertise the sale of a completed dwelling.
10. Signs for dwelling names and home businesses must not exceed 200mm

Maintenance of Lots

11. The Purchaser shall not allow any rubbish including site excavations and building materials to accumulate on a lot (unless the rubbish is neatly stored in a suitably sized industrial bin or skip) or allow excessive growth of grass or weeds upon the lots.
12. The Purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserve or in any waterway.

Crossover and Footpath Protection

13. Prior to commencement of building works the landowner must ensure they have applied for and obtained an Asset Protection Permit from City of Greater Geelong (CoGG).

Street Tree Protection

14. It is the responsibility of the landowner to ensure that the tree is protected during all building works.

4.5 LANDSCAPING

Residential landscaping at Gen Fyansford should be designed to complement the architecture of the built form, provide an integrated designed outcome, contribute to a cohesive streetscape and respond to the local ecology and heritage of Fyansford.

Landscape treatments should be creative, dry-tolerant and low low-maintenance. The gardens should be functional, to suit your lifestyle and provide opportunities for shade trees and screening.

In keeping with the eclectic character of Fyansford, a diverse plant palette with a range of indigenous, native and exotic plants has been provided to provide design flexibility, but maintain a cohesive and streetscape.

By following and using these guidelines, you contribute to the quality of you community by:

- achieving a contemporary landscape outcome to the front of all homes
 - defining individual boundaries from the streetscape
 - minimising the area of hardstand (e.g.. driveways and paving) and maximise the amount of soft landscape (e.g.. garden beds, turf and permeable surfaces)
1. All front gardens must be completely landscaped in accordance with these guidelines (including all turf, soft landscape, driveways and pathways) within 6 months of issue of a Certificate of Occupancy
 2. A landscape plan must be submitted and approved prior to the commencement of construction;
 3. Utilise plants that are hardy and dry dry-tolerant. The Planting List on the following pages includes examples of these;
 4. Consider locating garden beds at the edge of the lot, rather than lawn or paving.
 5. All garden beds should be at least 500mm wide This is enough for some low shrubs. Beds of 1.0m and over offer opportunities for larger shrubs to provide screening and smaller plants adding layers in front;
 6. All garden beds should be densely planted to ensure good coverage of growth. Empty spaces between species should be avoided;
 7. All garden beds should be mulched to help keep the soil moist. Use pine bark or other organic matter, or decorative pebbles. Scoria or Quartz should be avoided.
 8. At least 40% of the front garden must be free draining surface such as grass, garden bed. This reduces rain runoff and can keep the garden cooler in summer.

9. There must be at least one mature tree for each front garden that reaches a minimum, mature height of at least 5.0 metres.

This will provide shade and help reduce the local temperature on hot days or protect from frost. Consideration should be given to the mature size of the tree to allow plenty of space for roots and branches to spread.

10. At least 30% of the softscape areas must consist of planted garden bed;